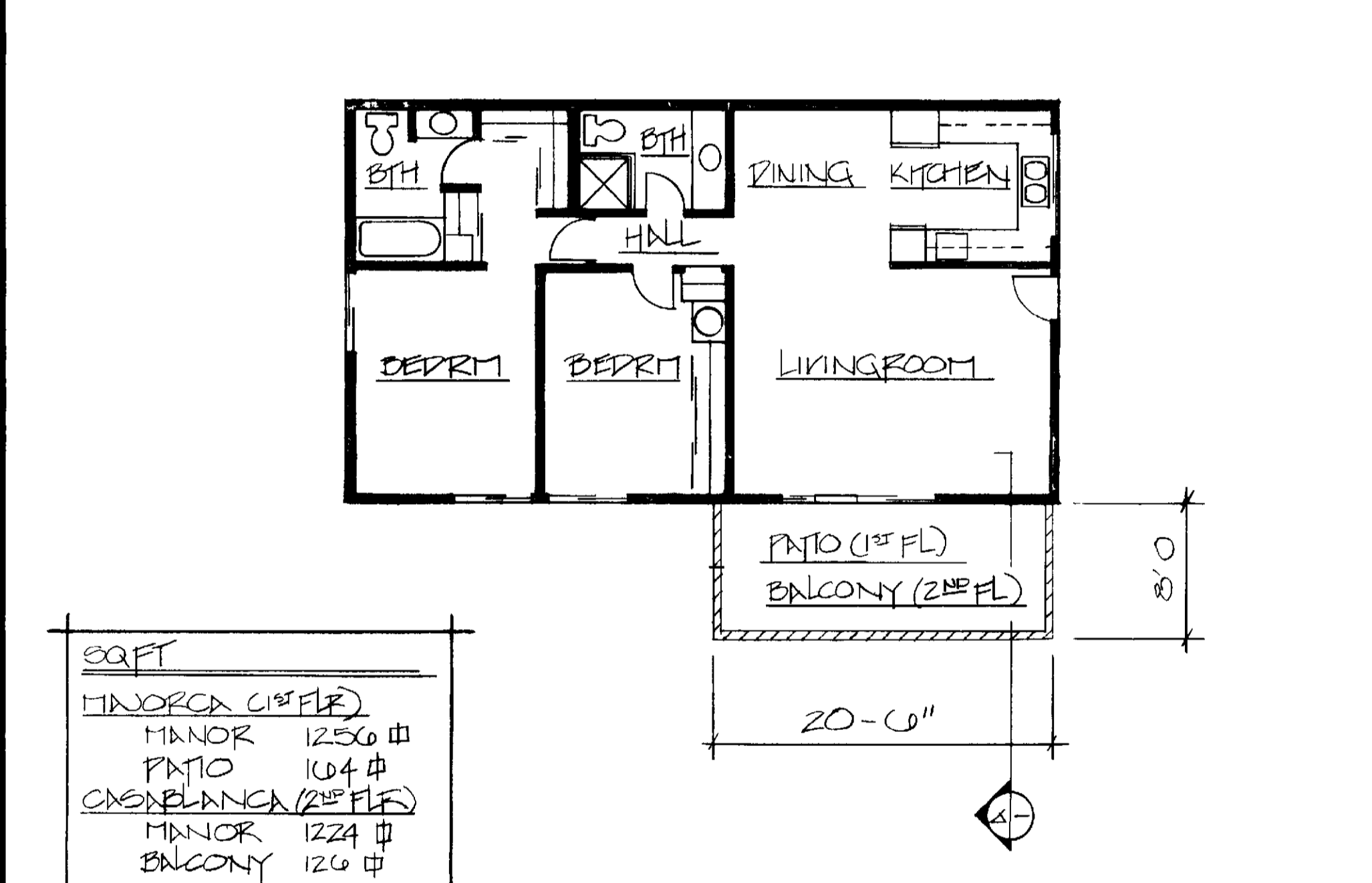
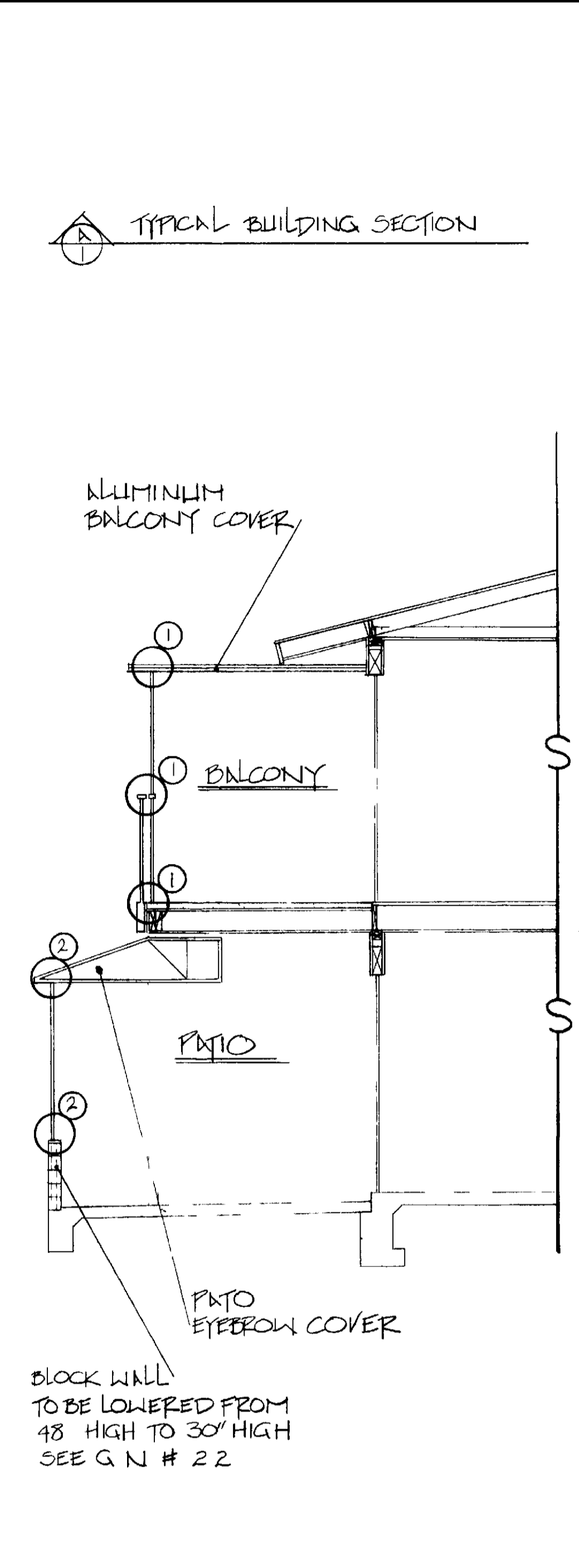


- 1.0 GENERAL NOTES**
- 1.1 These drawings and specifications and copy thereof are legal instruments of service for use if the owner:
- 1.2 Street address \_\_\_\_\_
- 1.3 Bonds: Complete bonds and material release may be required and shall be implemented to the owner's discretion.
- 1.4 Insurance: Certain insurance may be required as outlined by the owner. Should they require such insurance, the policies must be taken out in the owner's name.
- 1.5 Surety: The work of each trade shall be guaranteed by the contractor.
- 1.6 Cutting, patching, etc: Each trade shall do their own cutting, patching, fitting, etc. To make several parts come together properly, fit and receive or be received by the work of their trade.
- 1.7 Cleanup: All trades shall keep the premises free from accumulation of materials or rubbish caused by their work. Contractor is responsible for removal of debris and excess material and upon completion leave work areas broom clean daily.
- 1.8 Extra work: The owner may order extra work or make changes by lettering additions deducting from the work contract amount being adjusted accordingly.
- 1.9 Substitutions: No substitutions shall be made without prior written approval of the owner.
- 1.10 Code: All work shall comply with current edition of the Uniform Building Code and local code.
- 1.11 General notes: Each trade shall be held responsible for knowledge of general notes listed herein or elsewhere within the drawings.
- 1.12 Fees: The building permit and plan check fees shall be taken out and paid for by the contractor/subcontractor responsible for that portion of the work.
- 1.13 Interpretation: It is imperative that the contractors verify all dimensions and conditions shown on the drawings at the job site and inform the owner of any discrepancies or conflicts immediately before proceeding with the work.
- 1.14 Precedence: Dimensions have precedence over callouts.
- 1.15 Deviations: Any deviation from drawings necessitated by field conditions must be accompanied by a written change order.
- 1.16 Manufacturer's directions: Where manufacturer's directions are called for, they shall be considered part of these drawings.
- 1.17 Construction regulations: The drawing and work performed shall conform to all laws, codes, and regulations of the applicable provisions of Federal, State, and local laws.
- 1.18 Safety: Temporary site shall be provided per local authority.
- 1.19 Barricades: Construction barricades, if required, shall conform to the requirements of local authorities. For safety, the public shall be protected and notified during the construction work/it shall be maintained during the construction.
- 1.20 Structure: The structure is designed as a load-bearing unit. All component parts shall be in place. The contractor shall provide all shoring and bracing required to ensure the stability and/or all parts during construction.
- 1.21 Standards: All work shall be performed to the best standard of practice. Damaged work shall be replaced to the contractor's expense.
- 1.22 Construction materials: All materials shall be of standard grade or better.
- 1.23 Additional drawings: The contractor shall furnish any additional drawings or details requested by the Orange County Building Department.
- 1.24 Permits: Permits shall be obtained for such construction on by the contractor. Permit fees shall be paid for by the contractor. Orange County Building Department. An Orange County permit will be required.
- 2.0 LIGHT AND VENTILATION**
- 2.1 Room must have borrowed ventilation from adjoining rooms per U.B.C. mechanical ventilation system capable of providing two air changes per hour over-fifth of the room shall be taken from outside.
- 2.2 The open area of the longer wall and one additional wall is equal to at least 65% of the area below minimum of 6 feet 8 inches wall measured from the floor per the current edition of the U.B.C.

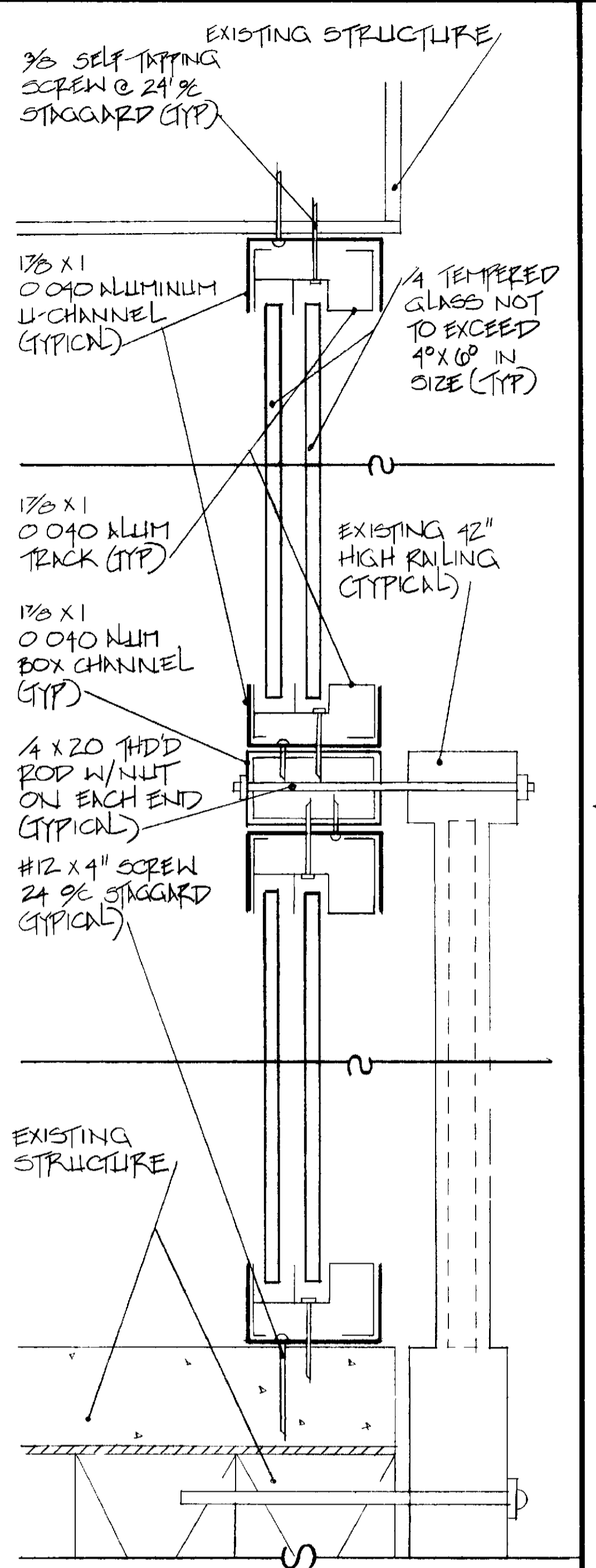
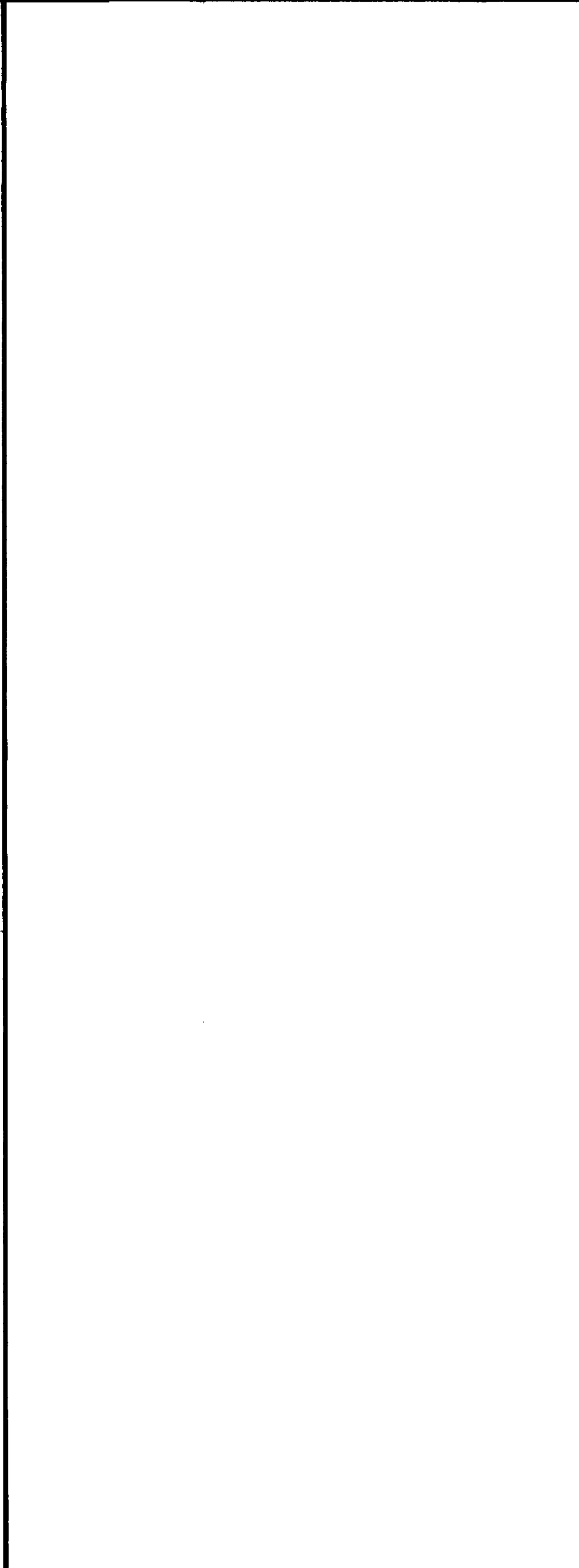
**GENERAL NOTES**



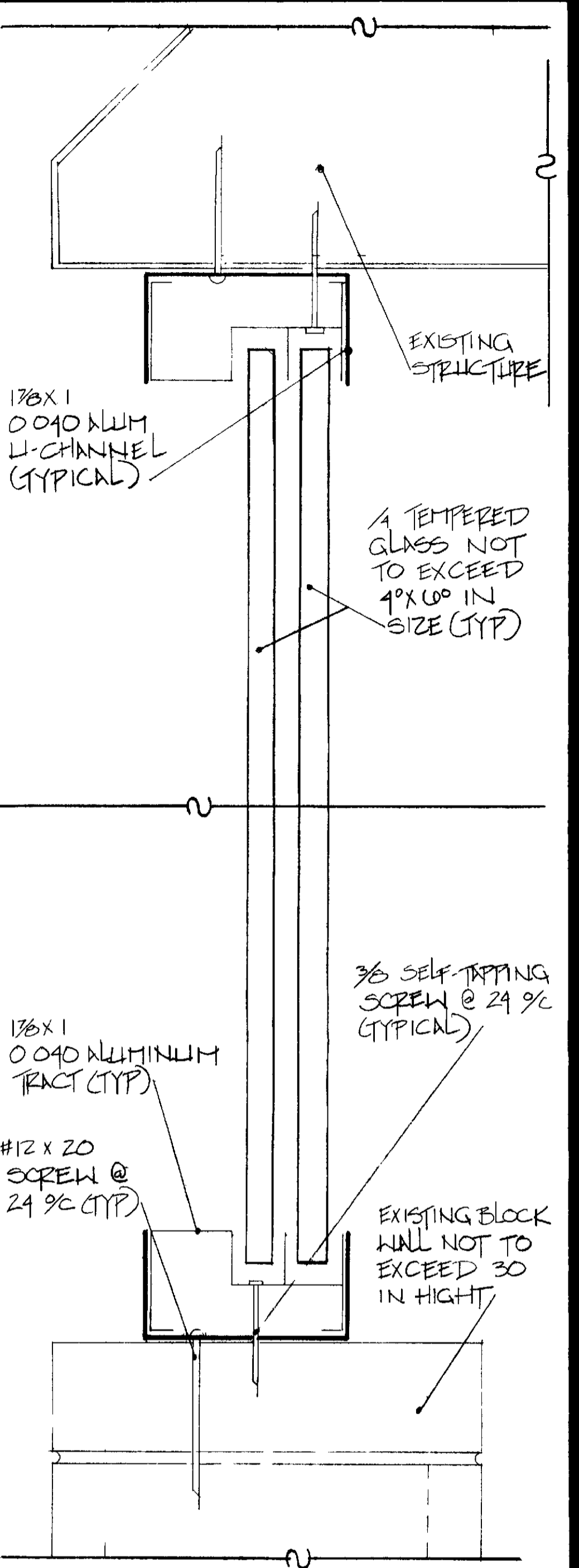
FLOOR PLAN / SCALE 1/8" = 1'-0"



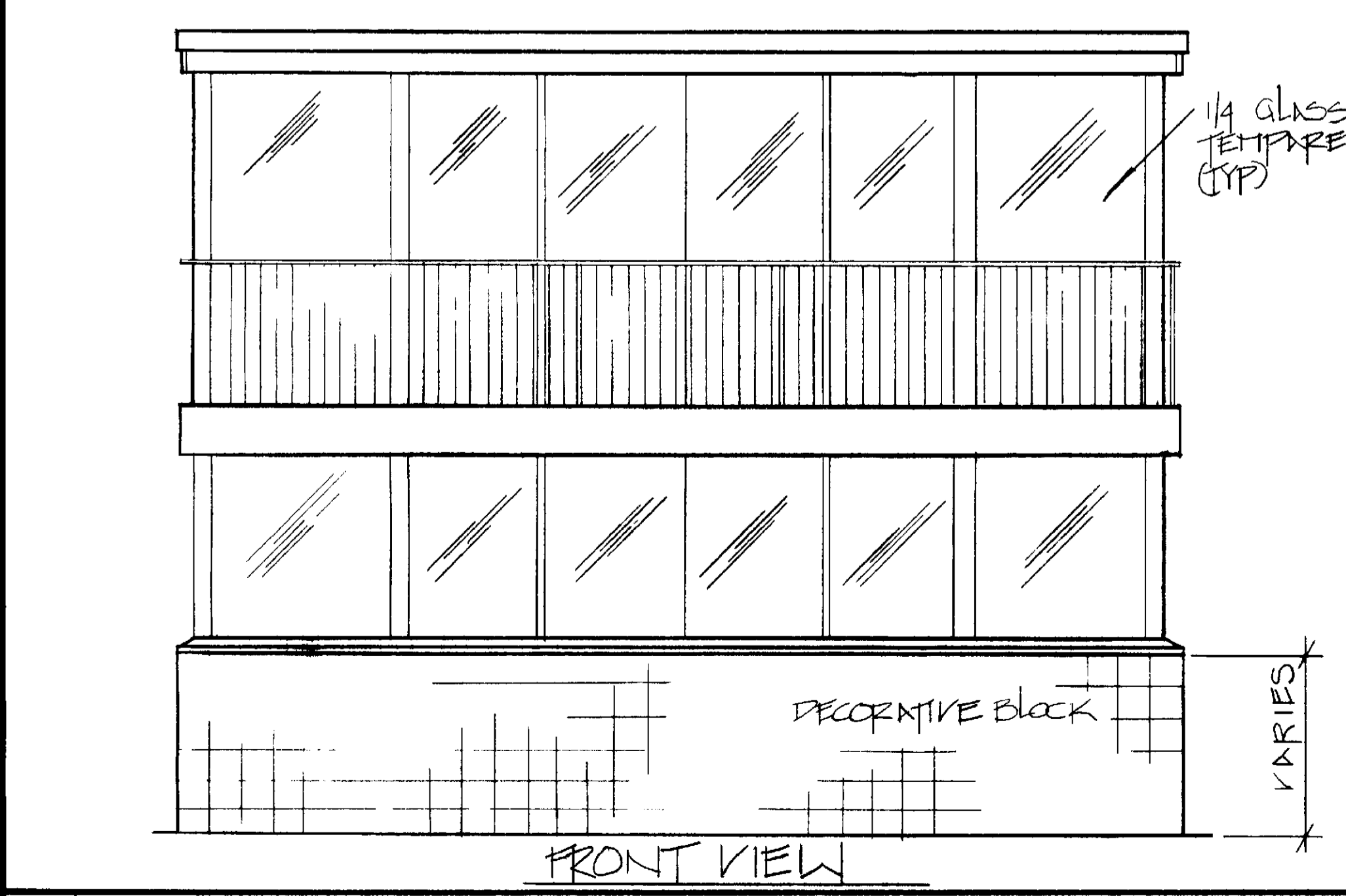
BUILDING SECTION



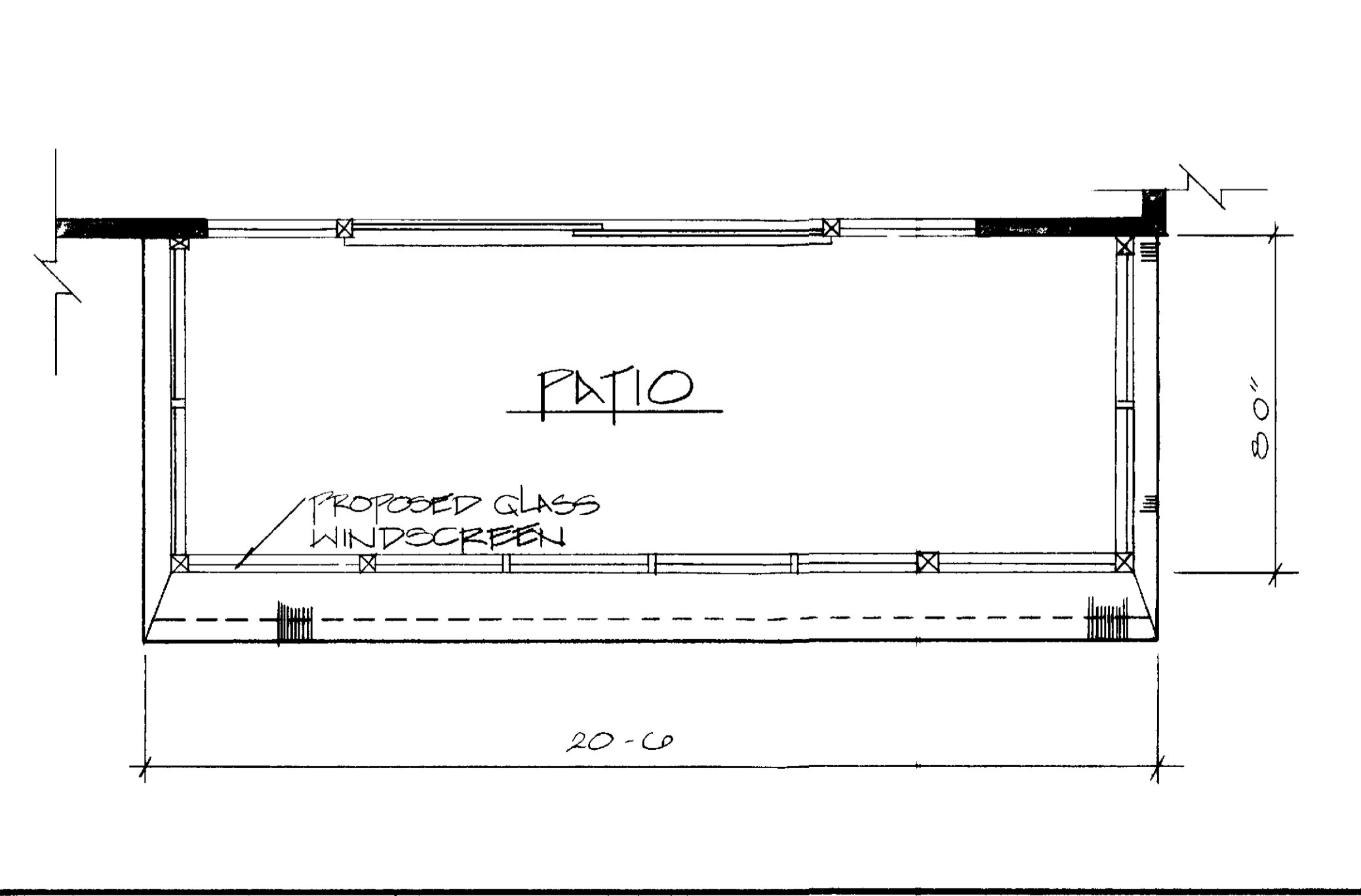
DETAIL ①



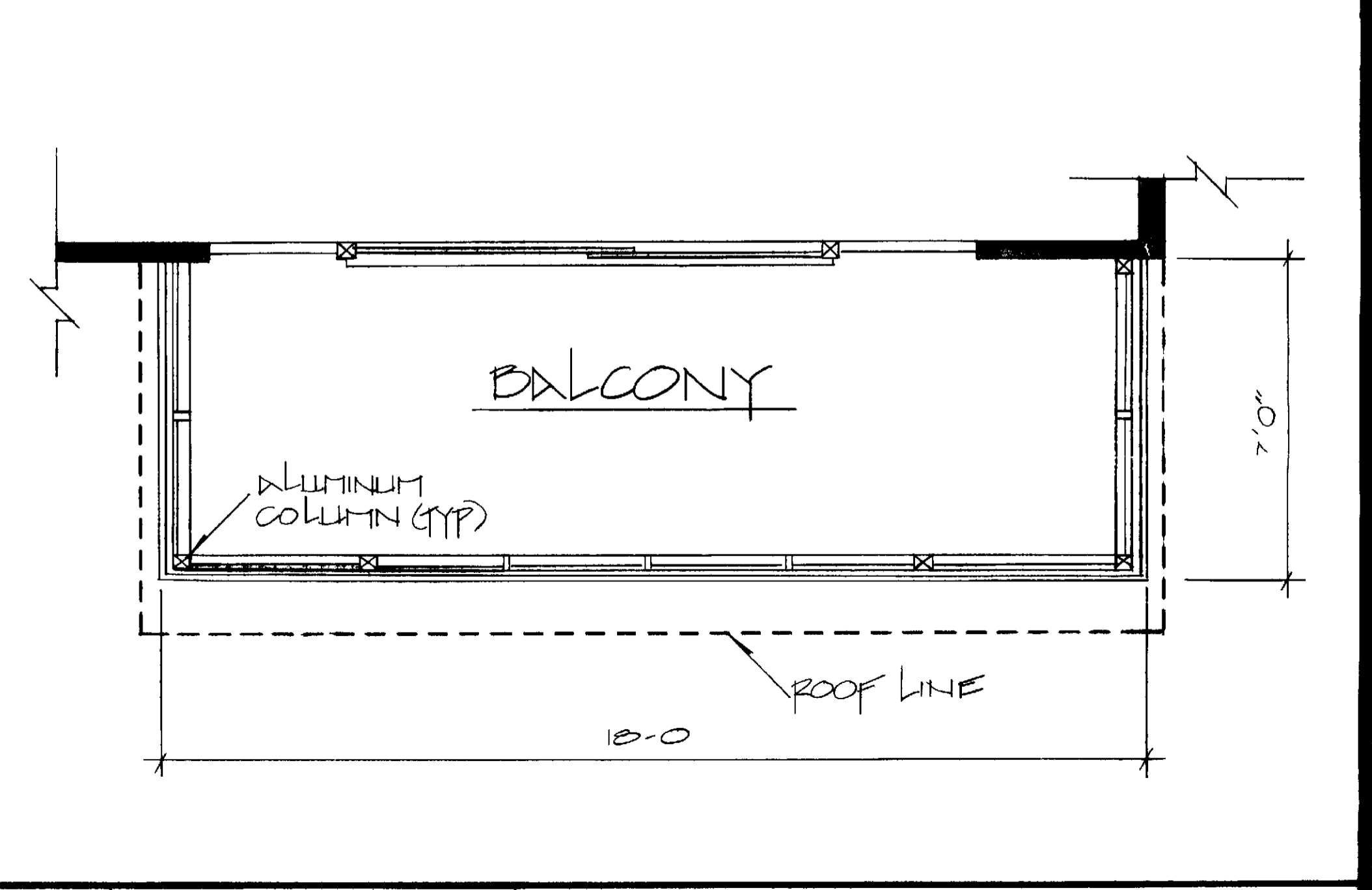
DETAIL ②



ELEVATION / SCALE 3/8" = 1'-0"



PATIO PLAN / SCALE 3/8" = 1'-0"



BALCONY PLAN / SCALE 3/8" = 1'-0"

PROFESSIONAL COMMUNITY MNGT, INC  
 P.O. BOX 2220  
 LAGUNA HILLS, CALIFORNIA 92654  
 714 380 4616

GLASS PANEL WINDSCREEN  
 8-PLN

**REVISIONS**

NO.	DATE	DESCRIPTION

DRAWN BY: GOSWALD  
 DATE: 09/19/90  
 APPROVED: [Signature]

MEASURE WORLD  
**34**  
 STANDARD PLAN #34

SHEET of 1