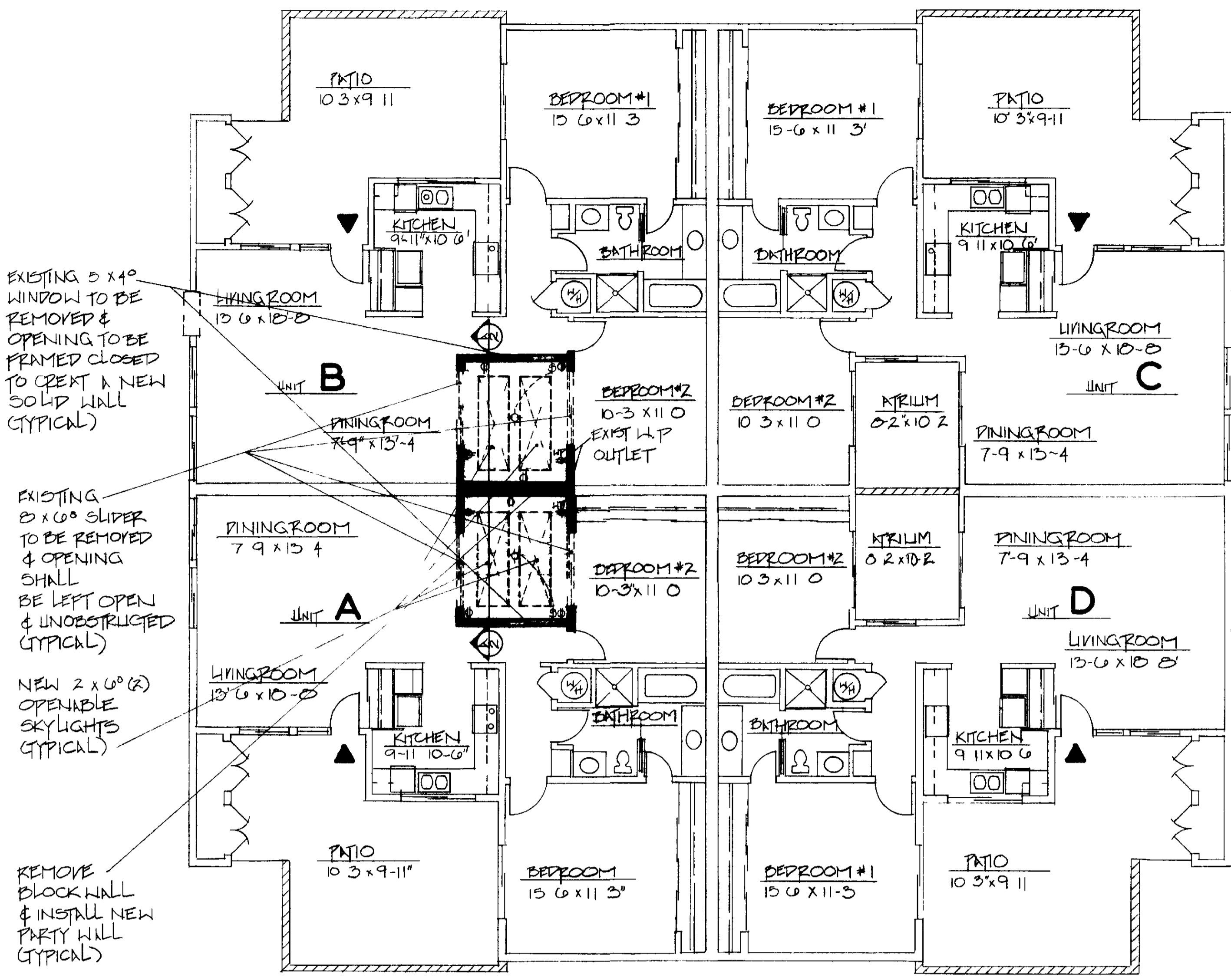
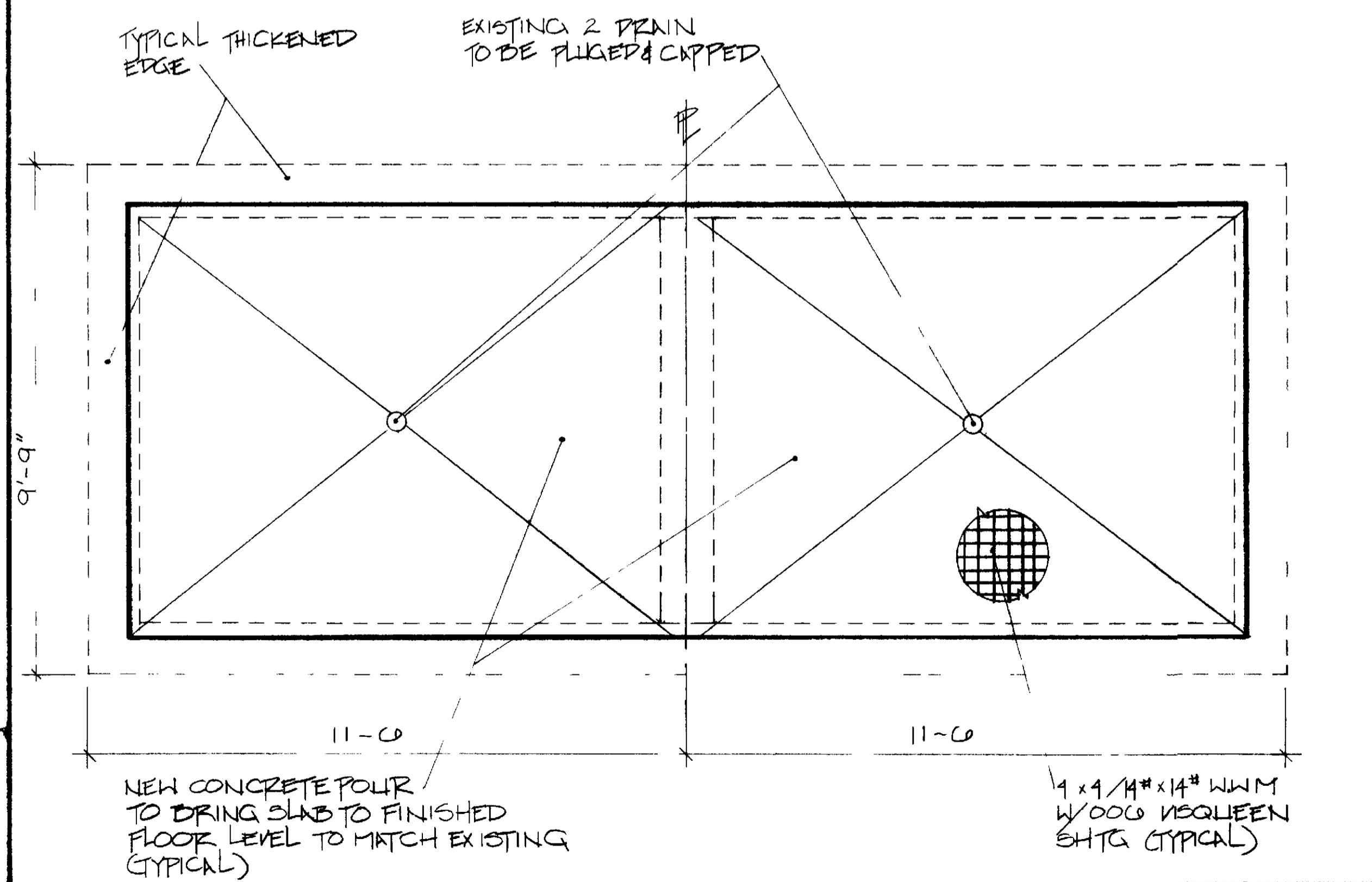


- 1.0 GENERAL NOTES**
- These drawings and specifications and copies thereof are legal instruments of service for use of the owner.
 - Professional Community Management
P.O. Box 2220
Laguna Hills, CA 92653
(714) 380-4616
 - and authorized representatives on the designated property only and remain the sole property of the designer. Unauthorized use is prohibited.
 - Street address _____
 - Bonds: Complete bonds and material release may be required and shall be implemented at the owner's discretion.
 - Insurance: Certificate of insurance(s) may be required as outlined by the owner. Should they request such insurance, the policies must be taken out in the owner's name.
 - Warranties: The work of each trade shall be guaranteed by contract.
 - Cutting, patching, etc.: Each trade shall do their own cutting, patching, fitting, etc. To make several parts come together properly fit and to receive or to be received by the work of other trades.
 - Clean-up: All trades shall at all times keep the premises free from accumulation of waste material or rubbish caused by their work. Contractor is responsible for removal of debris and excess material and upon completion leave work areas "broom clean" daily.
 - Extra work: The owner may order extra work or make changes by allowing adding to or deducting from the work the contract amount being adjusted accordingly.
 - Substitutions: No substitutions shall be made without prior written approval of the owner.
 - Codes: All work shall comply with current edition of the Uniform Building Code, state and local codes.
 - General notes: Each trade shall be held responsible for knowledge of general notes listed herein or elsewhere within the drawings.
 - Fees: The building permit and plan check fees shall be taken out and paid for by the contractor/subcontractor responsible for that portion of the work.
 - Interpretation: It is imperative that the contractor verify all dimensions and conditions shown on the drawings at the job site and inform the owner of any discrepancies, conflicts or omissions before proceeding with the work.
 - Precedence: Dimensions have precedence over callouts.
 - Deviations: Any deviations from drawings necessitated by field conditions must be accompanied by written change orders.
 - Manufacturer direction: Where manufacturer direction/specifications are called for, they shall be considered part of these drawings.
 - Construction regulations: The drawing and work performed shall at all times be governed by the applicable provisions of Federal, State and local laws.
 - Permits: Temporary utility shall be provided per local authority.
 - Barricade: Construction barricade, if required, shall conform to the requirements of local authority. For safety the public shall be protected and/or hindered from the construction work/site at all times during the contract.
 - Structure: The structure is designed as a steel unit after all component parts are in place. Therefore contractor shall provide all shoring and bracing required to insure the stability and/or all parts during construction.
 - Standards: All work shall be performed to the best standard of practice. Damaged work shall be replaced at the contractor's expense.
 - Construction material: All material shall be of standard grade or better.
 - Additional drawings: The contractor is to furnish any additional drawings and/or calculations requested by the Orange County Building Department.
 - Permit: Permit shall be issued for such construction by PCM Inc. Agent for Insurance World Laguna Hills, California. Permit & Inspection Department. An Orange County permit will be required.

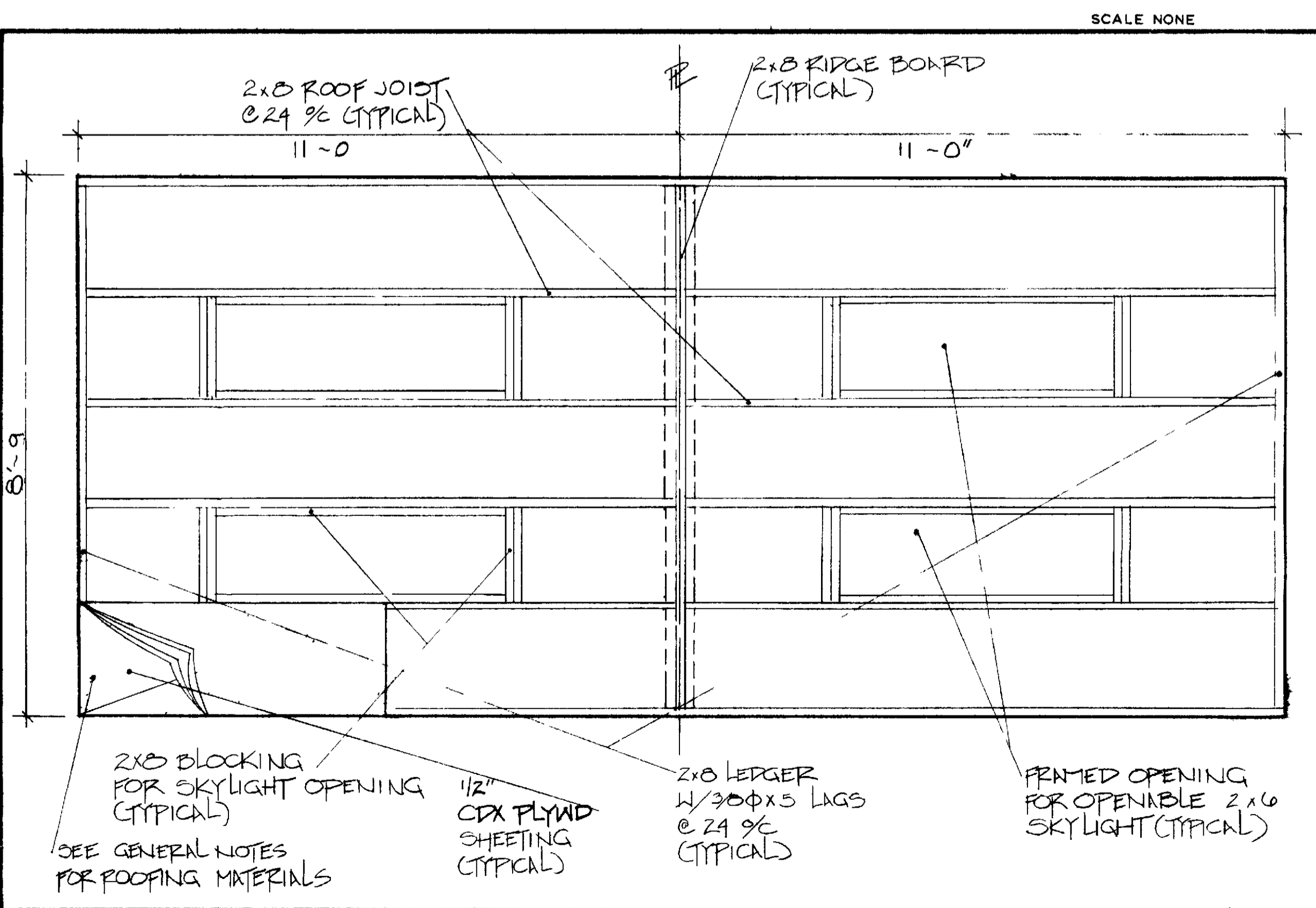
- 2.0 CONSTRUCTION NOTES**
- Type of construction: V-N
 - Group Occupancy: R-1
 - Framing lumber: Allow
Horizontal DF - L/1
Vertical DF - L/2
Equal r/b/t/r
- 3.0 CONCRETE NOTES**
- Existing 12" masonry parapet lean against any structure.
 - Existing 2" drain to be plugged and capped.
 - Concrete pour must bring floor mat heighting finished level.
- 4.0 ROOFING NOTES**
- Roofing shall follow per 100 square feet:
 Composite W1 (1 layer) 25LBS
 Composite A (3 layer) 33LBS
 Hot mop polyisocyanurate 90LBS
 1/2" gypsum board 60LBS
 Gravel (1/4" - 1/2") ASTM D186364 400LBS
 Sigs 325LBS
- 5.0 SKYLIGHT NOTES**
- All skylight shall be installed per standard plan drawing and installation NO EXCEPTIONS.
 - Non-friable skylight shall be allowed NO EXCEPTIONS.
 - All skylight in tiled hall shall be finished with bubble and double gasketed off white in color.
 - Skylight must be finished with polyurethane.
 - Skylight shall be ICBO approved.
 - No skylight shall be within 12" of any vertical member or subvent.
 - Skylight shall be finished down with hex head self-capping screw only nail head used NO EXCEPTIONS.
 - All fittings near exterior weathering shall be exterior finished with galvanized metal.
 - All skylight shall be crub mounted on minimum 2x6 curb.
- 6.0 LIGHT AND VENTILATION**
- Room must have borrowed ventilation from adjoining room per UBC or a mechanical ventilation system capable of providing two air changes per hour. One-fifth of the air shall be taken from outside.
 - The open area of the longer wall and one additional wall is equal to at least 65% of the area below minimum of 6 feet 8 inches of each wall measured from the floor per the current edition of the UBC.



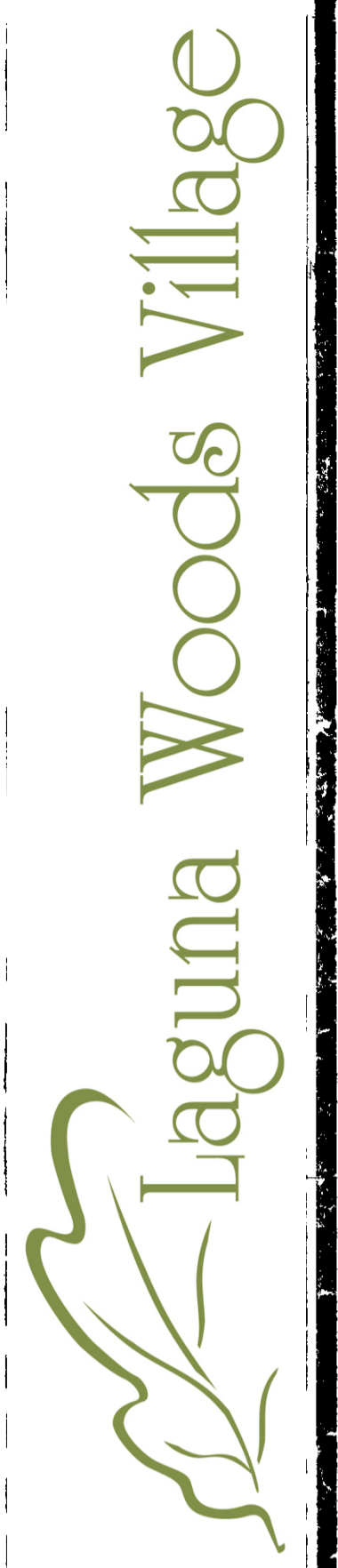
FLOOR PLAN



FOUNDATION PLAN



ROOF FRAMING PLAN



TRIUM ENCLOSURE
9-PLN & FG 04

REVISIONS

NO.	DESCRIPTION

DRAWN BY
G OSWALD
DATE
5/15/91
APPROVED BY

Laguna Woods Village
PLAN
NO 299