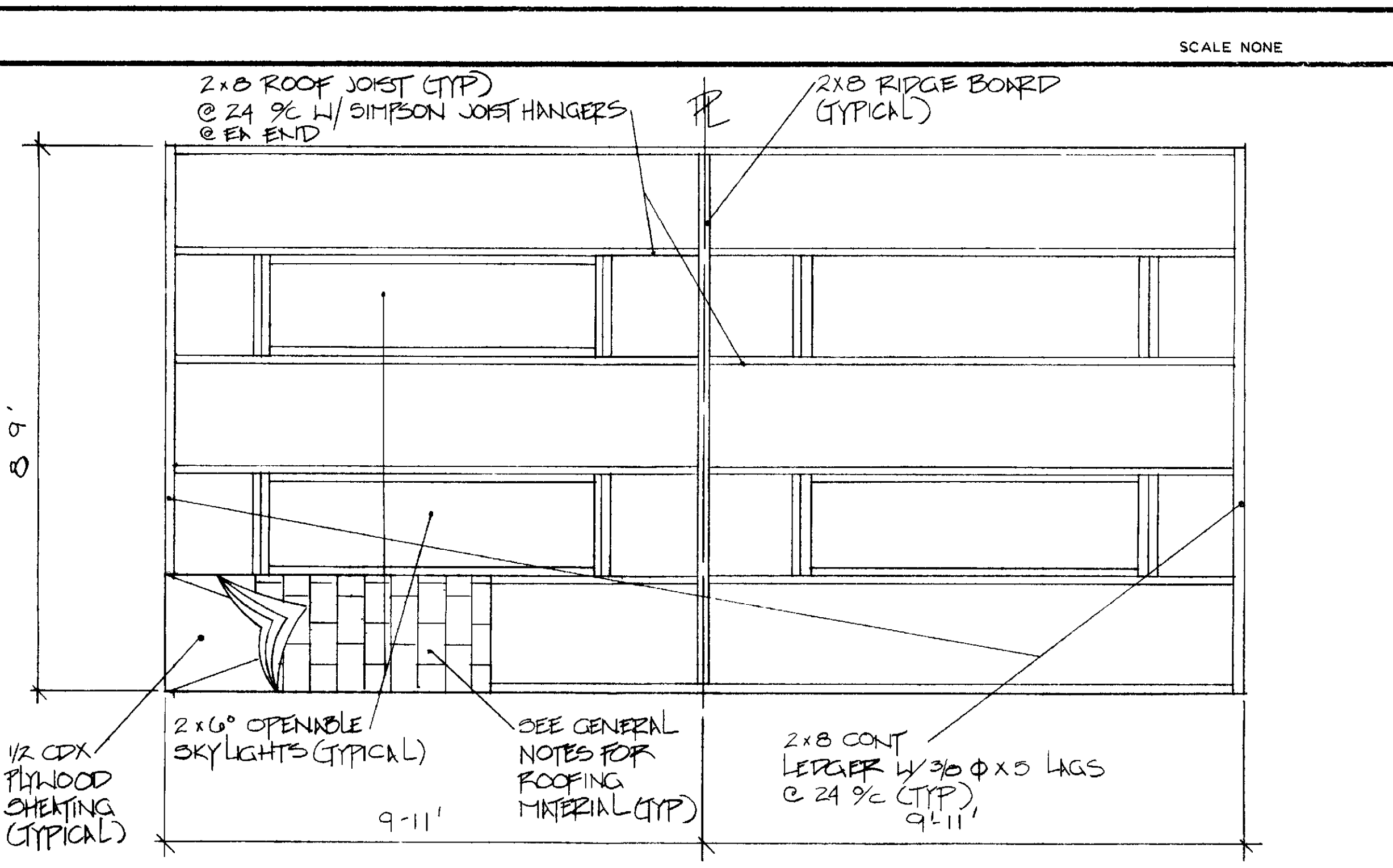
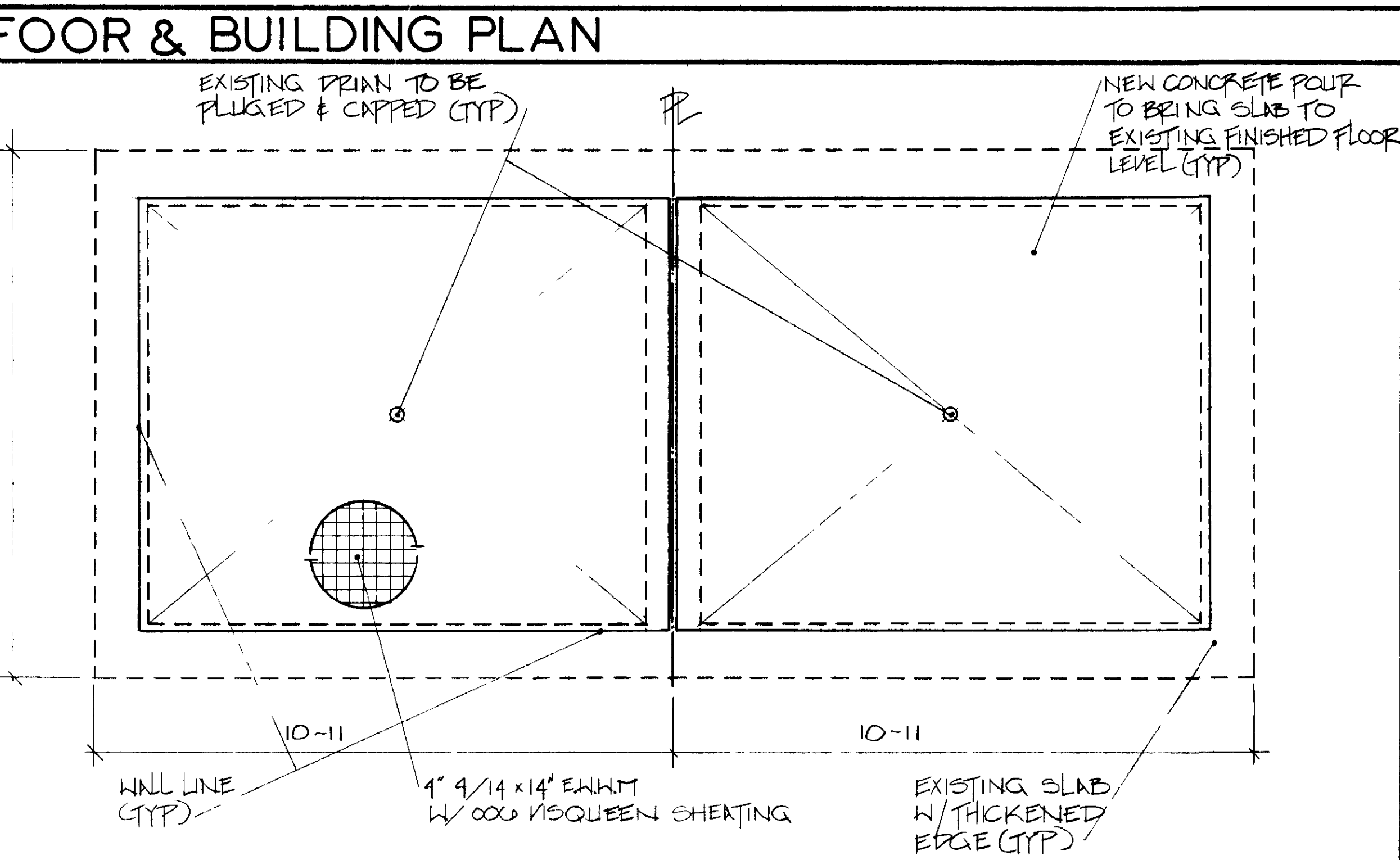
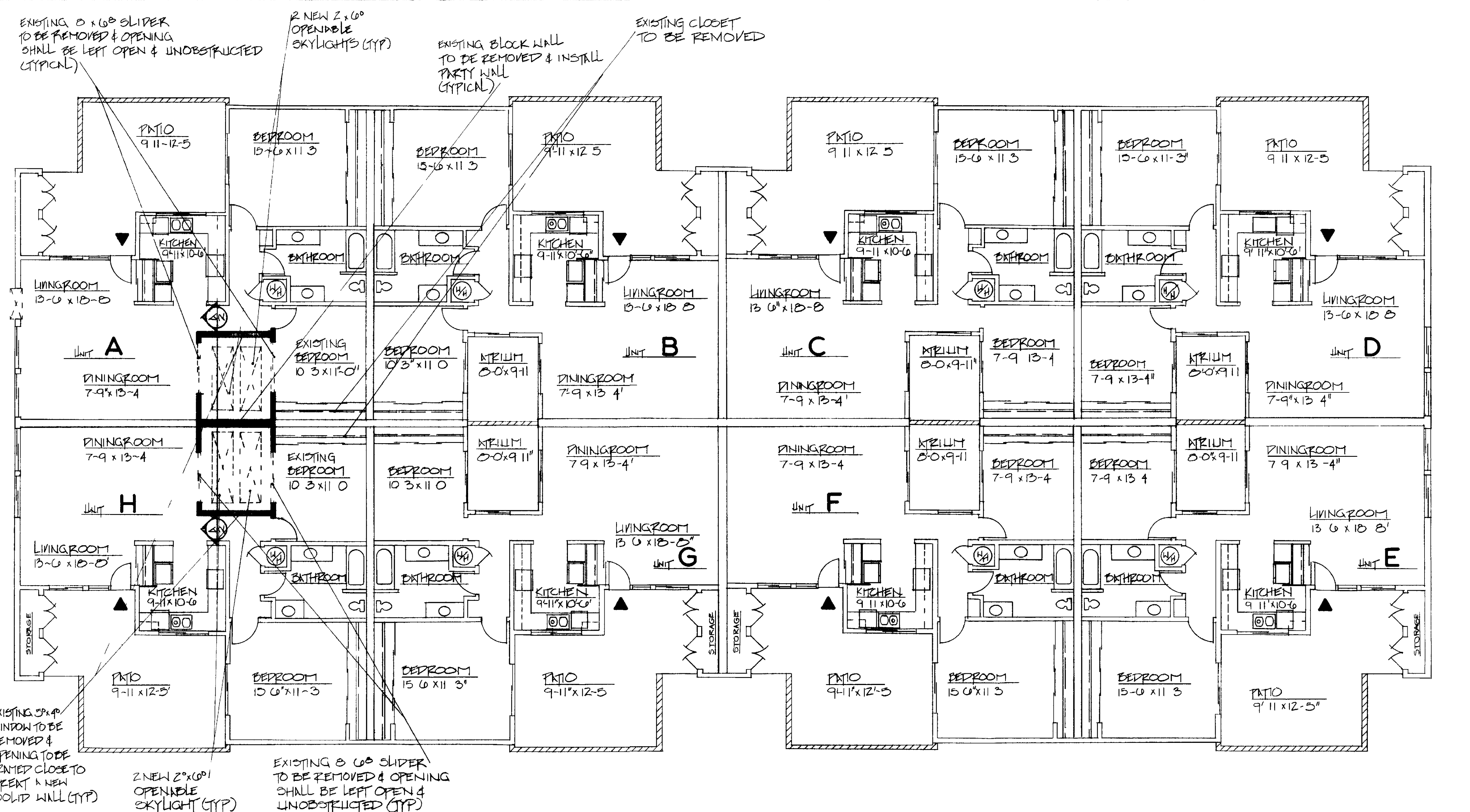


- 1.0 GENERAL NOTES**
- These drawing and specification and copy thereof are legal instrument of service for use of the owner.
 - Professional Community Management
P.O. Box 2220
Laguna Hills, CA 92653
(714) 380-4616
 - and authorized representative on the designated property only and remain the sole property of the designer. Unauthorized use is prohibited.
 - Street address _____
 - Bonds: Complete bonds and materials release may be required and shall be implemented at the owner's discretion.
 - Insurance: Certain insurance may be required outlined by the owner. Should they require such insurance, the policy must be taken out in owner's name.
 - Guarantee: The work of each trade shall be guaranteed by the contractor.
 - Cutting, patching, etc.: Each trade shall do their own cutting, patching, fitting, etc. To make several parts come together properly fit and receive or to be received by the work of that trade.
 - Clean-up: All trades shall keep the premises free from accumulation of waste material or rubbish caused by their work. Contractor is responsible for removal of debris and excess material and upon completion leave work areas broom clean daily.
 - Extra work: The owner may order extra work or make change by letter adding or deducting from the work. The contract amount being adjusted accordingly.
 - Substitutions: No substitutions shall be made without prior written approval of the owner.
 - Code: All work shall comply with current edition of the Uniform Building Code, state and local codes.
 - General note: Each trade shall be held responsible for knowledge of general note listed herein or elsewhere within the drawings.
 - Permit: The building permit and plan check fees shall be taken out and paid for by the contractor/subcontractor responsible for that portion of the work.
 - Interpretation: It is imperative that the contractor verify all dimensions and conditions shown on the drawings at the job site and inform the owner of any discrepancies conflict or omissions before proceeding with the work.
 - Precedence: Dimension have precedence over callouts.
 - Deviations: Any deviations from drawing necessitated by field conditions must be accompanied by written change order.
 - Manufacturer direction: Where manufacturer direction/specifications are called for they shall be considered a part of these drawings.
 - Construction regulations: The drawing and work performed shall at all times be governed by the applicable provisions of Federal, State and local laws.
 - Facilities: Temporary toilet shall be provided per local authority.
 - Barriercade: Construction barrier, if required, shall conform to the requirement of local authority. For safety the public shall be protected and/or shielded from the construction work/it at all times during the construction.
 - Structure: The structure is designed to be a permanent structure. All components part are in place. Therefore contractor shall provide all shoring and bracing required to ensure the stability and/or all parts during construction.
 - Standards: All work shall be performed to the best standard of practice. Damaged work shall be replaced at the contractor's expense.
 - Construction material: All material shall be of standard grade or better.
 - Additional drawings: The contractor is to furnish any additional drawings and/or consultation requested by the Orange County Building Department.
 - Permit: Permit shall be issued for such construction by P.C.M. Inc. Agent for Insurance World Laguna Hills California Permit & Inspection Department. An Orange County permit will be required.
- 2.0 CONSTRUCTION NOTES**
- Typical construction V.N.
 - Group Occupancy R-1
 - Framing lumber as follows:
Horizontal D.F. L#1
Vertical D.F. L#2
Equal to the other
- 3.0 CONCRETE NOTES**
- Existing slab must be repaired as follows:
Existing 2" in diameter plug and application
Concrete pour must bring finished height to floor level.
- 4.0 ROOFING NOTES**
- Roofing shall follow per 100 square feet:
Combustible W1 (1 layer) 25LBS
Combustible A (3 layer) 33LBS
Hot mop asphalt 90LBS
Hot mop asphalt 60LBS
Gravel (1/4") ASTM D186364 400LBS
S1g 325LBS
- 5.0 SKYLIGHT NOTES**
- All skylight shall be installed per standard plan drawing 1 and 1. NO EXCEPTIONS.
 - Non-flashing skylight shall be installed. NO EXCEPTIONS.
 - All skylight installed shall be finished with bubble and double glass. Off-white color.
 - Skylight must be finished with penoblyte.
 - Skylight shall be installed with appropriate approval.
 - Non-flashing skylight shall be installed with 12" of any vertical member above vent.
 - Skylight shall be fastened down with hex head self-tapping screws. Only nail shall be used. NO EXCEPTIONS.
 - All fasteners shall be checked with 1/2" diameter ratchet screwdriver.
 - All skylight shall be mounted on 2x6 curb.
- 6.0 LIGHT AND VENTILATION NOTES**
- Room must have borrowed ventilation from adjoining room per U.B.C. mechanical ventilation system capable of providing two air changes per hour. One fifth of the air shall be taken from outside.
 - The opening of the longer wall and one additional wall is equal to at least 65% of the area below minimum of 6 feet 8 inches of each wall measured from the floor per the current edition of the U.B.C.



Laguna Woods Village

ATRIUM ENCLOSURE

10A & 10B~PLN

REVISIONS

 DRAWN BY: G OSWALD
 DATE: 5/24/91
 APPROVED BY: _____

 Laguna Woods Village
STANDARD PLAN NO 232
 SHEET 1 OF 2 SHEETS