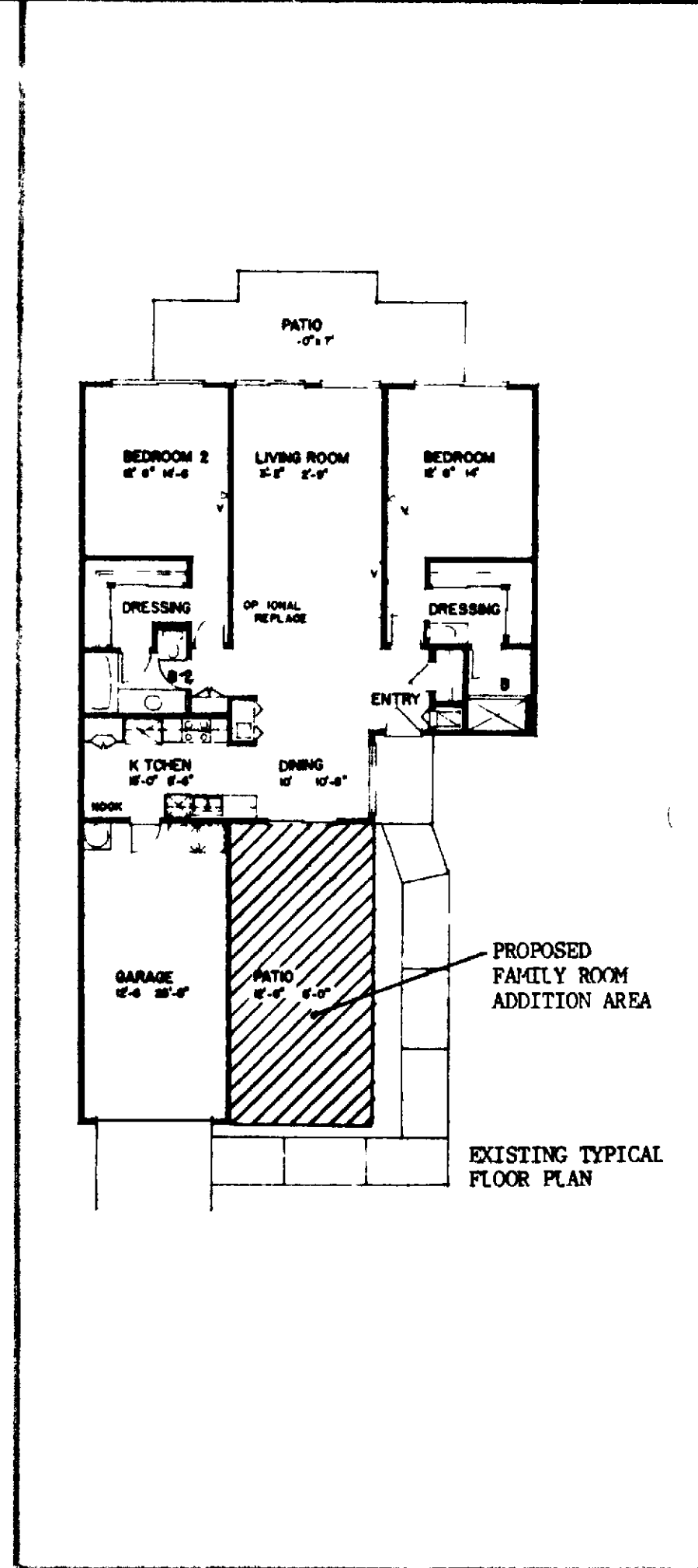
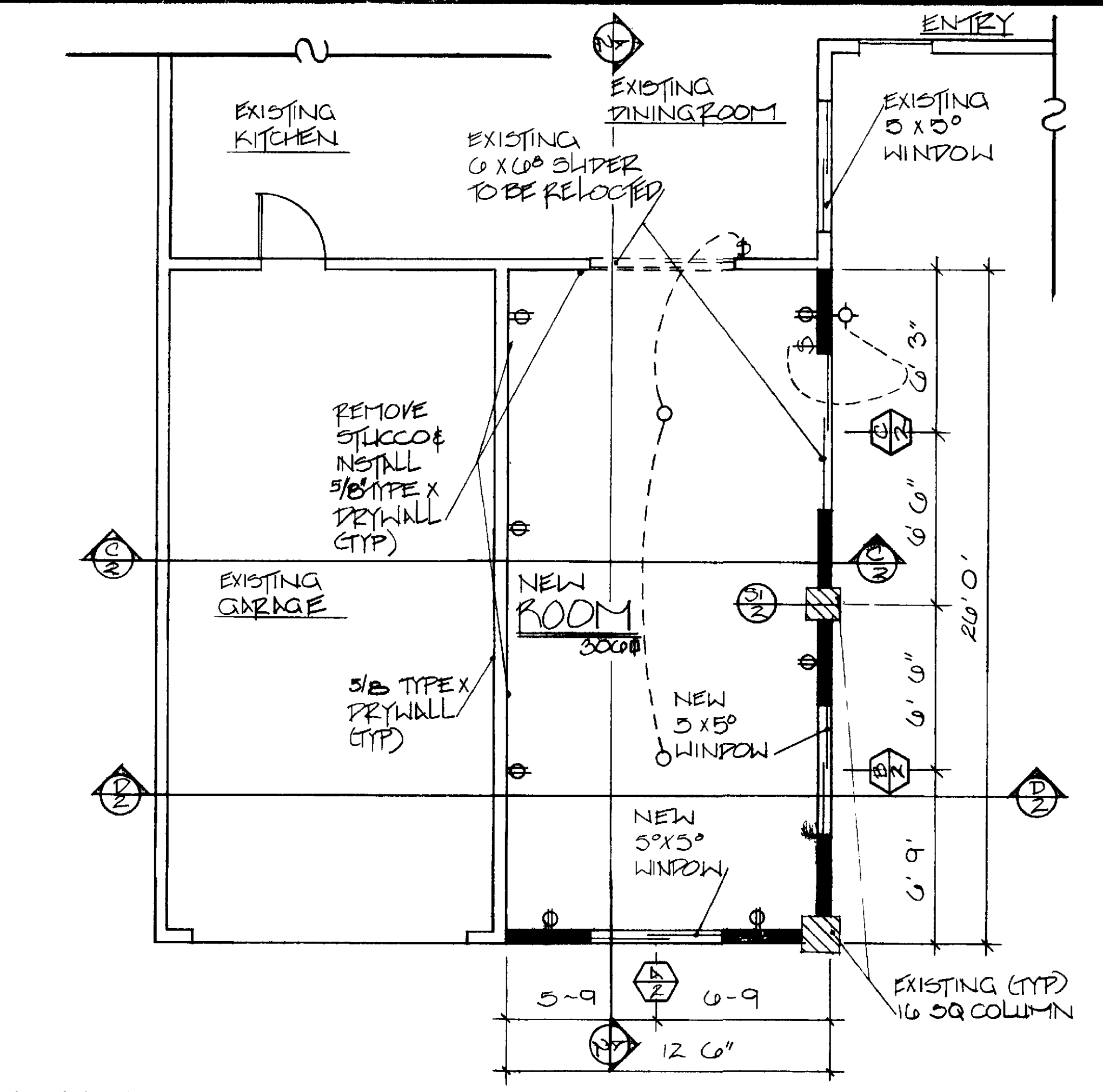


- 10 GENERAL NOTES**
- These drawings and specifications and plans shall be read in conjunction with the legal instrument of record for the property.
 - Professional Community Management, Inc. 2220 Laguna Hills, CA 92653 (H.R. Known P.C.M.)
 - Agreement for Leisure World Laguna Hills, California and the design of the property only and the property of the design is not to be used in any other project.
 - County Street Address _____
 - Insurance: Certain insurance () required as outlined by the P.C.M. Permits and Inspections Department should be taken out in own name.
 - Guarantee/Warranties: The work of each trade shall be guaranteed by the contractor.
 - Cutting, Scheduling, etc.: Each trade shall at all times do their own cutting, patching, fitting, etc. Work shall be completed together properly fit and receive or to be received by the work of other trades.
 - Clean Up: All trades shall at all times keep the premises free from accumulation of waste material or rubbish and by the work of contractor responsible for removal of debris and excess material and must leave work area "broom clean" both daily and upon completion of work. Use of community dumpsters is not permitted.
 - Substitutions: No substitutions shall be made without prior written approval of P.C.M. Permits and Inspections Department.
 - Codes: All work shall comply with the current edition of the Uniform Building Code and local codes.
 - General Notes: Each trade shall be held responsible for knowledge of general building codes and specifications within the drawing.
 - Permit: All permit and plan check fees shall be taken out and paid for by the contractor.
 - Interpretation: It is imperative that the contractor verify all dimensions and conditions shown on the drawing at the job site prior to commencing construction and inform the P.C.M. Permits and Inspections Department of any discrepancies or conflicts prior to the beginning of the work.
 - Dimensions: Dimensions have precedence over notes.
 - Manufacturer's Directions: Where manufacturer's directions conflict with the drawing, they shall be considered part of the drawing.
 - Construction Regulations: The drawing and work performed shall be governed by the applicable provisions of Federal, State and Local Law.
 - Facilities: Temporary facilities shall be provided per local authority.
 - Barricades: Construction barricades if required shall conform to the requirements of local authority for public safety. Barricades shall be placed and removed from construction work at all times during the construction.
 - Structure: The structure is designed as a permanent unit after all component parts are in place. The contractor shall provide all shoring and bracing required to insure the stability and safety of the structure during construction.
 - Standards: All work shall be performed to the best standard practices. Damaged work shall be replaced at the contractor's expense.
 - Construction Materials: All materials shall be of standard grade or better unless otherwise noted.
 - Discrepancies: Any discrepancy between plan building and local code requirements that may affect the installation, fabrication or overall work in any way shall be immediately brought to the attention of the P.C.M. Permits and Inspections Department by the contractor.
 - Work Hours: No work shall commence prior to 7:00 a.m. and no work will be permitted after 5:00 p.m. Monday through Friday. Saturday work should be held to a minimum and no work whatsoever on Sunday.

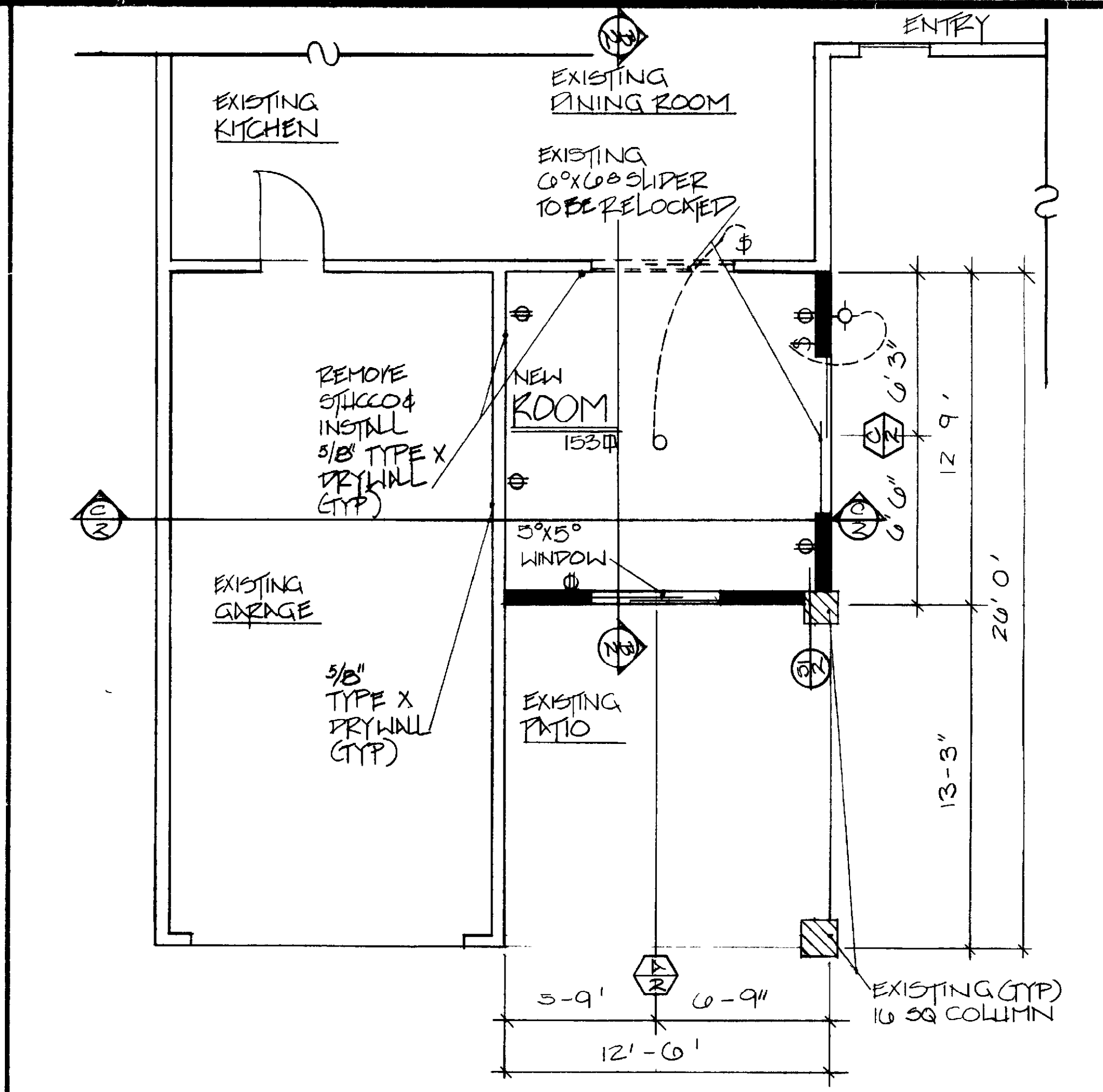
- 20 CONSTRUCTION NOTES**
- Typical Construction
 - Grouping
 - Construction materials shall be of standard grade or better unless otherwise noted.
 - Foundation: Foundation wall with 1/2 inch nominal diameter rebar and bolt embedded at least 7 inches into the existing concrete. The rebar shall be minimum of two bolts per pier with bolt lapped within 12 inches of each other. The pier shall be properly grouted and washers shall be tight against the bolt. The pier foundation shall be of the kind of wood piling if the contractor edits the U.S.C.
 - Structure: Match existing conditions and structure.
 - Paint: All exterior work to match existing.
 - All exterior work to be finished with galvanized metal.
 - Exterior door and trim to match existing.
- 30 CONCRETE NOTES**
- Contractor to verify all existing dimensions and conditions of the structure and if from owner of any discrepancies or conflicts in writing prior to commencement of construction.
 - Slab to be type V or T with minimum 2400 PSI concrete 28 days.
 - Contractor to verify type of concrete to be used in the building code.
 - Contractor to verify any additional requirements that may be required in writing on the drawing or any other documents.



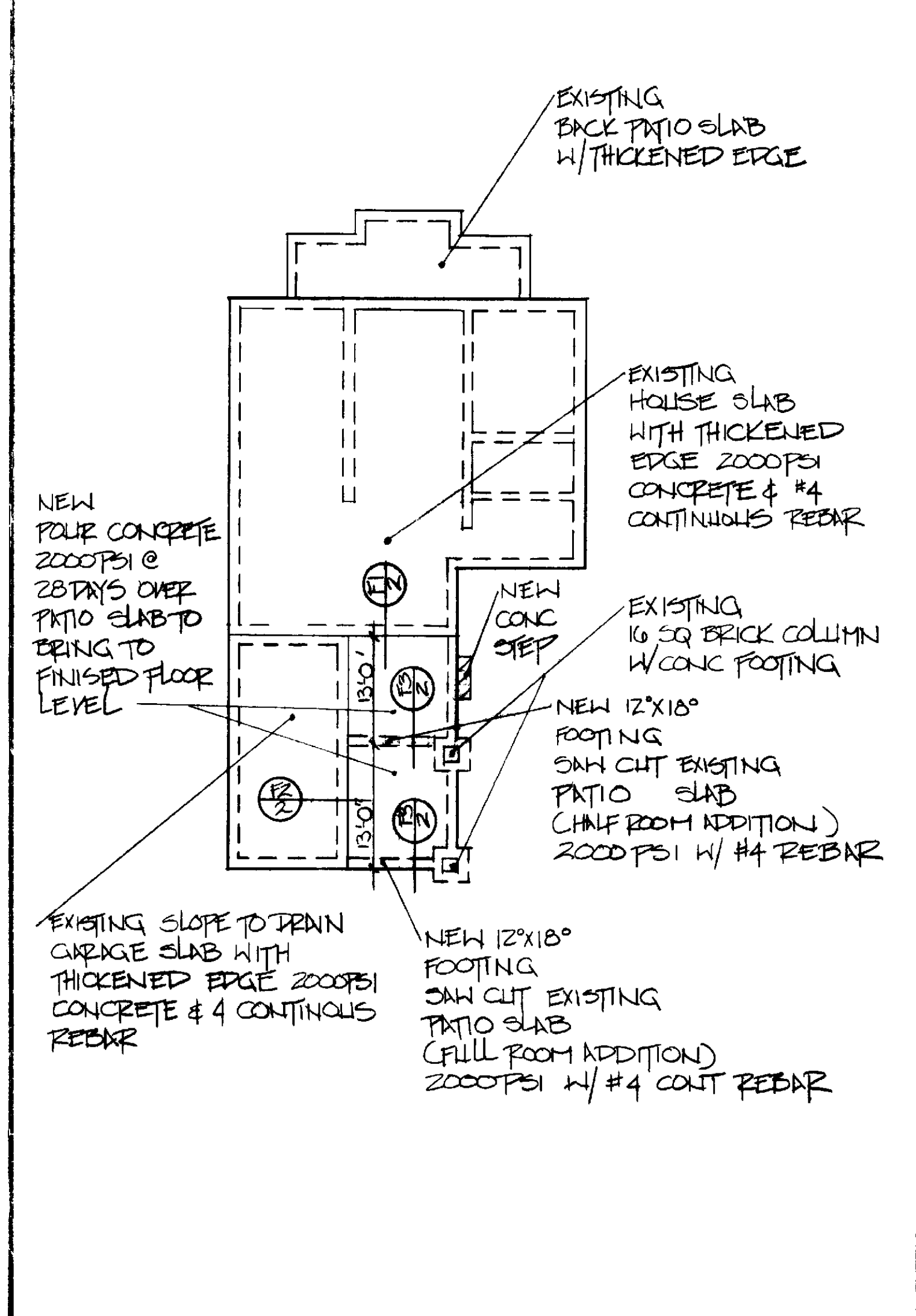
FLOOR PLAN SCALE NONE



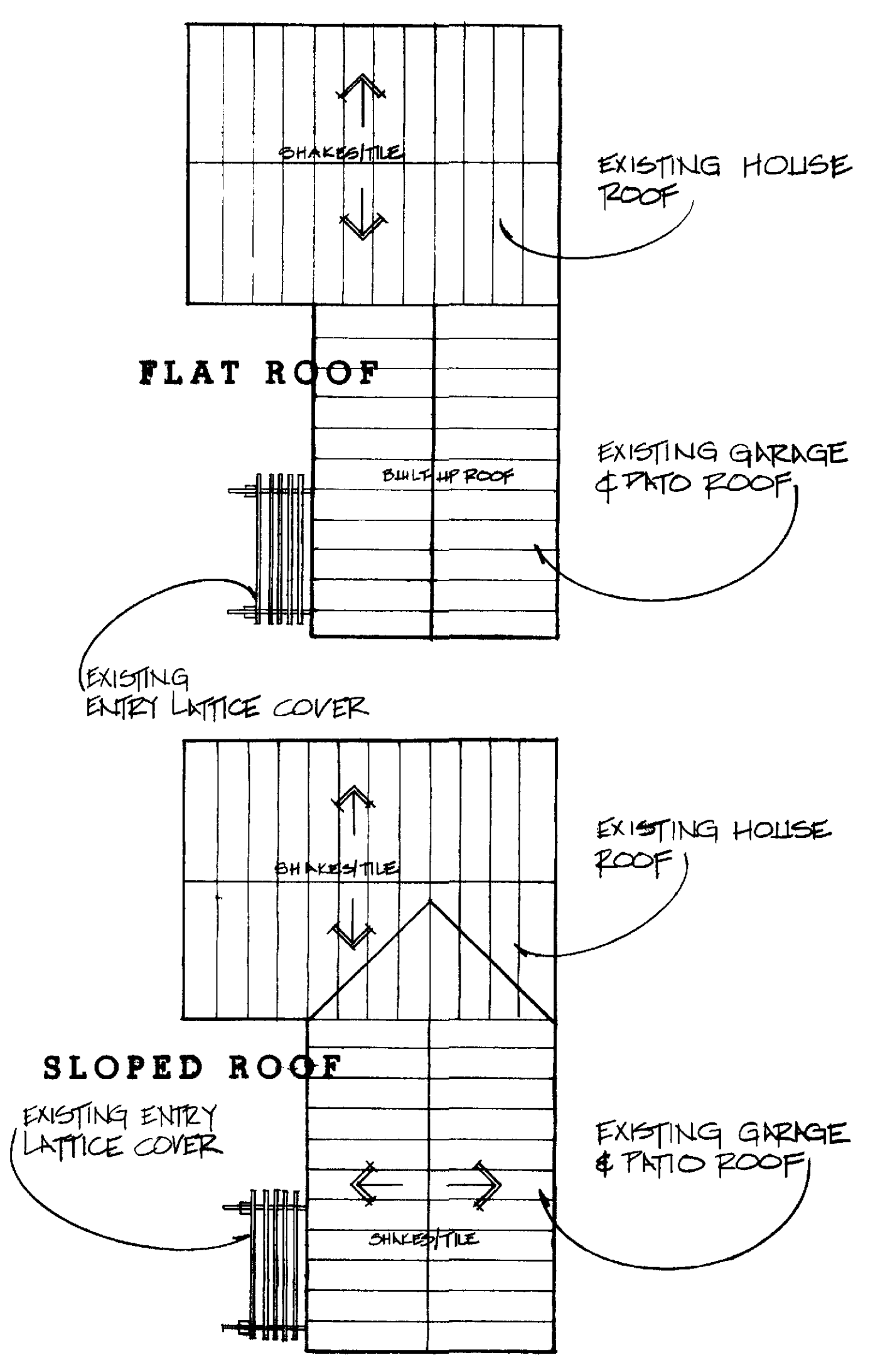
FAMILY ROOM PLAN FULL ROOM ADDITION SCALE 1/4" = 1'-0"



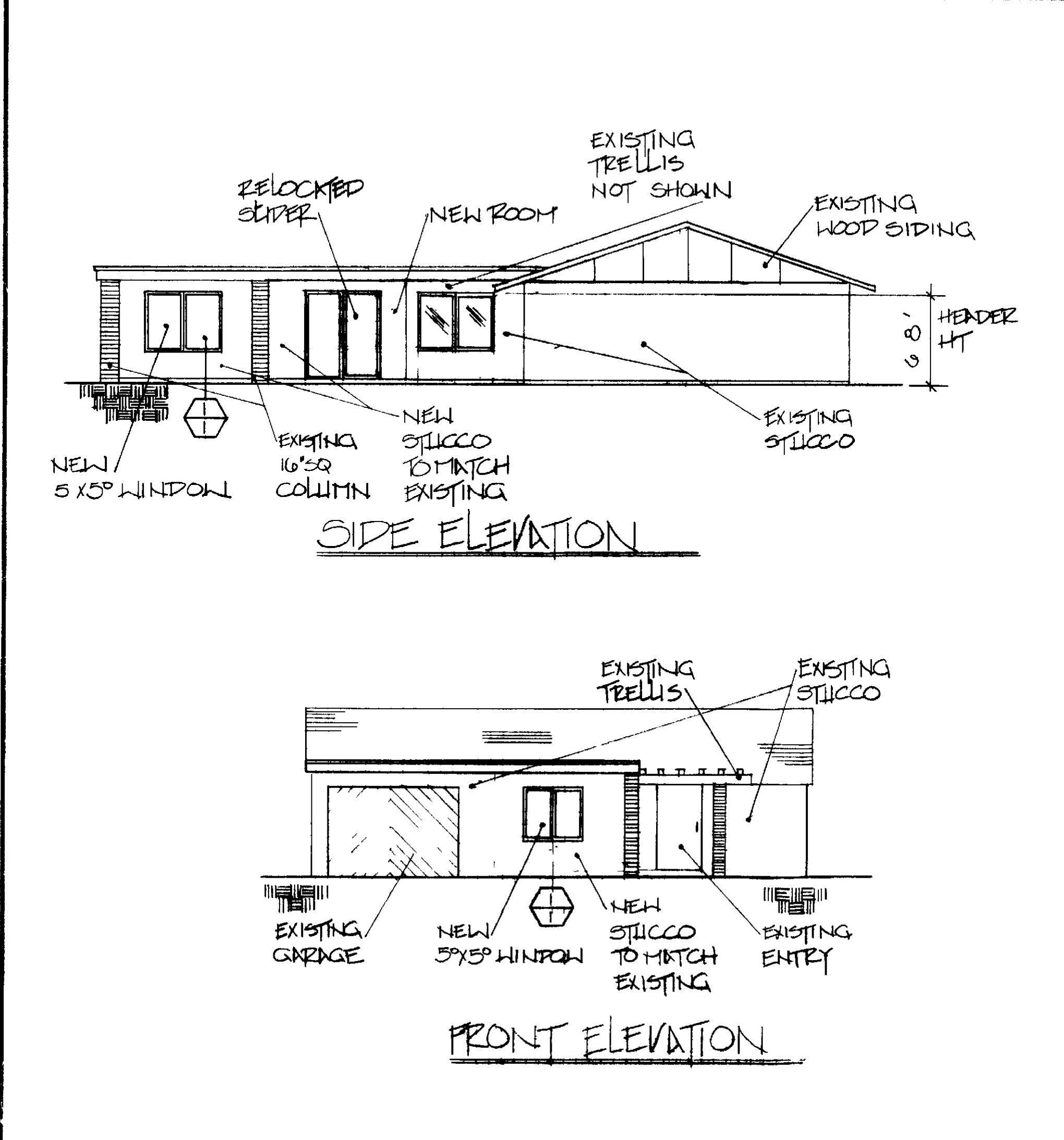
FAMILY ROOM PLAN HALF ROOM ADDITION SCALE 1/4" = 1'-0"



FOUNDATION PLAN SCALE NONE



ROOF PLAN SCALE NONE



ELEVATIONS SCALE NONE

Professional Community Management, Inc.
 LEISURE WORLD - LAGUNA HILLS
 PERMITS & INSPECTIONS DEPARTMENT
 2220 LAGUNA HILLS CA 92653
 A REVISION TO ANY PLAN SHALL BE APPLIED AFTER C-SPAWN

FAMILY ROOM ADDITION
46 PLN & 46R PLN

NO.	REVISIONS

DRAWN BY: **G OSWALD**
 DATE: **4/19/91**
 APPROVED BY: _____

LEISURE WORLD STANDARD PLAN NO 212
SHEET 1 of 2